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Barbara Jo Blain-Bellamy

*MAYOR PRO TEM*  
Justin D. Jordan



*COUNCIL MEMBERS*  
Amanda Butler  
William M. Goldfinch IV  
Beth Helms  
Larry A. White

**PLANNING DEPARTMENT  
CITY OF CONWAY  
COMMUNITY APPEARANCE BOARD MEETING  
Wednesday, May 24, 2023 | 4:00 P.M.  
Planning & Building Department – 196 Laurel Street**

**I. CALL TO ORDER**

**II. APPROVAL OF MINUTES (May 10, 2023)**

**III. CERTIFICATES OF APPROPRIATENESS**

- A. **975 Second Ave (Cowboys):** The applicant, Tripp Nealy, requests final review and approval of revisions to a previously approved restaurant, to be constructed at 975 Second Ave (PIN 367-01-01-0054).

**IV. DISCUSSION**

- A. Discussion of Ordinance #ZA2023-06-05 (C), to amend *Article 11 – Signage*, of the City of Conway Unified Development Ordinance (UDO), regarding Electronic Message Centers (EMC’s) and Light-Emitting Diodes (LED’s) with digital and/or animated display.

**V. PUBLIC INPUT**

**VI. BOARD INPUT**

**VII. STAFF INPUT**

**VIII. UPCOMING MEETINGS**

<u>MEETING</u>	<u>DATE</u>	<u>TIME</u>	<u>LOCATION</u>	<u>ADDRESS</u>
Board of Zoning Appeals (BZA)	May 25, 2023	5:30 p.m.	Planning & Building Dept. Conference Room	196 Laurel St.
Planning Commission (PC)	June 1, 2023	5:30 p.m.	Planning & Building Dept. Conference Room	196 Laurel St.
City Council	June 5, 2023	4:00 p.m.	Planning & Building Dept. Conference Room	196 Laurel St.
Community Appearance Board (CAB)	June 14, 2023	4:00 p.m.	Planning & Building Dept. Conference Room	196 Laurel St.

**IX. ADJOURN**

**CITY OF CONWAY  
COMMUNITY APPEARANCE BOARD MEETING  
WEDNESDAY, May 10, 2023**

**Planning & Building Dept. Conference Room – 196 Laurel Street**

Present: Duc Watts, Mckenzie Jordan, Autry Benton, Troy Roehm, Jamie McLain, Gerry Wallace  
Absent: Jacqueline Kurlowski  
Staff: Jessica Hucks, Planning Director; Mary Catherine Hyman, Deputy City Administrator;  
Robert Cooper, Building Official; Anne Bessant, Planning Assistant; Marcus Cohen, IT  
Other: Hillary Howard, Teague Hopkins, Kathy Ropp

**I. CALL TO ORDER**

Vice-Chairman Roehm called the meeting to order at approximately 4:00 p.m.

**II. APPROVAL OF MINUTES**

McLain made a motion to accept the minutes as written and it was seconded by Jordan to approve the April 26, 2023 minutes. The vote in favor was unanimous. The motion carried.

**III. CERTIFICATES OF APPROPRIATENESS**

**A. 1512 Main Street (Shree Mini Mart):** The applicant, Petroimage, is requesting to replace/revise the existing sign panels on an existing freestanding sign structure for the property located at 1512 Main St. (PIN 338-11-02-0047).

Hucks stated the applicant, Petroimage, is requesting to replace/revise the existing sign panels on an existing freestanding sign structure for the property located at 1512 Main St.

This applicant proposes to relocate the existing sign panels to accommodate the need to change the gas prices regularly. The applicant proposes to relocate the manual gas price display panel below the Subway and Shree 701/ATM panels.

The manual gas price display panel currently measures 19.77 Sq. Ft., the Shree 701/ATM panel currently measures 18.38 Sq. Ft., and the Subway panel currently measures 24.33 Sq. Ft., totaling 100.56 Sq. Ft.

The applicant is not proposing to change any of the existing sign panel displays or sizes just the location of the manual gas price panel, for better access.

The sign is considered a Nonconforming Sign per *Section 12.1.6 (B)* of the UDO allowing the sign to be maintained so long as the nonconformity is not increased and per *Section 12.1.6 (D)* the work proposed is allowed to be done as the area of the sign panels are not being increased.

Renderings were included in the packet.

If the board chooses to grant the request, staff recommends the following conditions:

- The applicant must obtain all applicable permits
- Any deviation from what is approved shall require a re-review from this board and subsequent approval.

The applicant was not present.

Benton made a motion to approve the request as presented. Watts seconded the motion and the motion carried unanimously.

**B. 229 Main Street (Conway City Hall):** The applicant, City of Conway, is requesting approval to install new windows, replace one entrance door, replace the awning canvas, as well as remove one door and replace with a window and bricking. (PIN 367-01-01-0017).

Hucks stated the applicant, City of Conway, is requesting approval to install new windows, replace one entrance door, replace the awning canvass, as well as remove one door and replace with a window and bricking. (PIN 367-01-01-0017).

The applicant did replace the windows within the addition portion of City Hall (the original fire station building) with aluminum clad six-over-six double hung windows with double pane clear insulated glass. No windows within the original City Hall portion were replaced.

The applicant is proposing to replace the second entry door on the Third Ave side of the building with a window of the same type and size and bricking to match the existing building. The second door was originally added to provide ADA access to the elevator within the hallway. However, with the addition of a ramp to the main door the second door is no longer needed and the replacement will provide a much-needed increase in security.

The applicant is also proposing to replace the Scarborough Ally entry door with a full glass white metal door and updated hardware similar to the approved doors used at the 196 Laurel St Planning & Development Building.

The applicant is proposing to replace the awning above the Scarborough Ally entry door with a green and white stripe canvass to match the previously approved awning covers at the 206 Laurel St. Ike Long Building.

A rendering of the proposal was included in the packet.

If the board chooses to grant the request, staff recommends the following conditions:

- Any deviation from what is approved shall require a re-review from this board and

subsequent approval.

Mary Catherine Hyman and Robert Cooper were present and further explained the request.

Wallace made a motion to approve the request as presented. Jordan seconded the motion and the motion carried unanimously.

#### IV. SPECIAL TAX ASSESSMENT

**A. 317 Main Street:** The applicant, Teague Hopkins, requests final approval of a special tax assessment at 317 Main Street (TMS# 137-02-02-023 / PIN 367-01-01-0023) under the Preservation Tax Incentive Program.

Hucks stated that the applicant has requested final approval for property located at 317 Main Street for a special tax assessment, as specified in *Section 1-5-50, Special Tax Assessment*, under the City of Conway Code of Ordinances.

The property is known as the “Platt Building”, built around the year 1909. It is a two-story commercial building with post-1945 alterations to the storefront and second-story façade. City Council voted to certify the property at their November 4, 2019 meeting, as the building is 50 years or older. The property received preliminary approval in November of 2019 and approval of exterior renovations in 2020.

The exterior renovations approved by the board in 2020 were required to be as follows;

- Glass and bronze metal trim will be installed
- Brick directly around the glass storefront to be painted urban bronze
- The upper portion of the storefront to be painted “Anew Grey”
- The 3 windows of the upper front façade will be trimmed in Urban Bronze
- Curved embellishments to be installed above windows
- The brick around the door, far right of storefront, to be painted “Anew Grey”
- Remaining storefront brick to be painted “Urban Bronze”
- All work must be in compliance with the standards for rehabilitation, as specified in Article E, Section 1-5-53 of the City’s code of ordinances.

According to *Section 1-5-54 (e)* of the Ordinance, final approval must be granted upon completion of the project. To grant final approval the board will inspect completed project to determine if the work is consistent with the preliminary approval and that the work performed is compliant with *Section 1-5-53 of Article E*.

If the board grants the property final approval the property will be assessed for the remainder of the special assessment period on the fair market values at the time of preliminary certification was made. If the project does not comply with all requirements the board must not grant approval.

Staff recommends final approval of the special tax assessment based on the completion of the approved work in compliance with *Section 1-5-53 of Art. E – Preservation Tax Incentive Program*, of the City’s Code of Ordinances.

Teague Hopkins, applicant was present to answer any questions.

Benton made a motion to approve the request as presented. Jordan seconded the motion and the motion carried unanimously.

**V. PUBLIC INPUT**

None

**VI. BOARD INPUT**

Watts asked if staff knew anything out the window graphics of the Remax building located on 3<sup>rd</sup> Avenue. Howard stated that it was only a painted spring/summer window scene. He also questioned why the awning that was approved for Crooked Oak had not been installed yet and a brick walkway had been installed that was not approved by the board. Hucks stated that the owner explained that the awning is on backorder and hoped to have it within six months. She noted that staff would look into the brick walkway concern but it may have been approved with the plans.

**VII. STAFF INPUT**

None

**VIII. ADJOURN**

There being no further business to come before the board, a motion was made and seconded to adjourn the meeting at 4:12 pm. The vote in favor was unanimous and the motion carried.

Approved and signed this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

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Jacqueline Kurlowski, Chairperson

DATE: May 24, 2023

ITEM: III.A.

**ISSUE:**

**975 Second Ave (Cowboys):** The applicant, Riverfront Ventures, requests review and approval of revisions to a previously approved building, proposed to be constructed at 975 Second Ave (PIN: 36701010054).

**ZONING DISTRICTS / HDRD:**

Waccamaw Riverfront District 1; Waccamaw Riverfront HDRD (A), riverside of railroad

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**SCOPE OF WORK:**

This Board gave final review and approval to a proposed restaurant, then proposed to be called “Under the Bridge Seafood, Steaks and Spirits”, at 975 Second Ave, originally in March 2019. At that time, the main tenant space was proposed to be a restaurant and the smaller tenant space was proposed to be a real estate office. This board approved revisions to the previously approved structure in February 2021, which at the time, included changes in the entry for the second tenant, additional entrances, increase in vertical siding to screen coolers and mechanical equipment, changes to the access stairs and ramp, and adjustments to the canopy on the left side. This Board approved the proposed revisions on the condition that the river side of the building be clear glass and that the entrance/take out doors come back to CAB for approval since the final (door) design had not yet been decided on.

Following that approval, in June 2021, the applicant submitted a survey revising the proposed lot layout to include enough property to expand the footprint of the proposed structure.

During TRC review, also in June 2021, it was also discovered that a portion of the rear of the proposed structure encroached into the Riverwalk easement area, which could not be permitted, and staff requested that the building footprint match the survey/footprint that had been submitted for review. Additionally, the footprint submitted for TRC review included a 2,351 sq. ft. building expansion *not* previously reviewed by CAB.

To staffs’ knowledge, and according to Horry County Land Records, the plat staff approved (for recording) in 2021 that included enough of a building footprint to include the proposed expansion has never been recorded. ~~Pending CAB approval of the latest building design, the applicant will need to seek Council approval of the revised footprint and the appropriate platting action (and associated deed work) completed to match such approvals.~~

Renderings of what was approved in 2019 and 2021 are included in your packet for review, as well as the most recent submittal (September 2022), which includes revised architectural elevations.

The applicant now proposes for both tenant spaces to be restaurants, with one of them being “Cowboys”. A copy of the floor plan has also been provided in the packet.

*975 Second Ave (consideration of revisions required upon final approval)*

At the January 25, 2023 meeting the board asked the applicant to;

- Extend the porch along the length of the back of the building
- Provide a symmetrical pitch or go back to the original design of the lower warehouse roof layout
- Verify the roof pitch
- Provide shed style porch roofs rather than gable end
- Provide a zoomed in rendering of each entry way for board clarification
- Show window details for each side of the building
- Provide a size offset between the shed roofs to distinguish between the 2 tenants and entrances
- Refer to the approved 2021 renderings

The newly proposed elevations are below and also included in your packet.

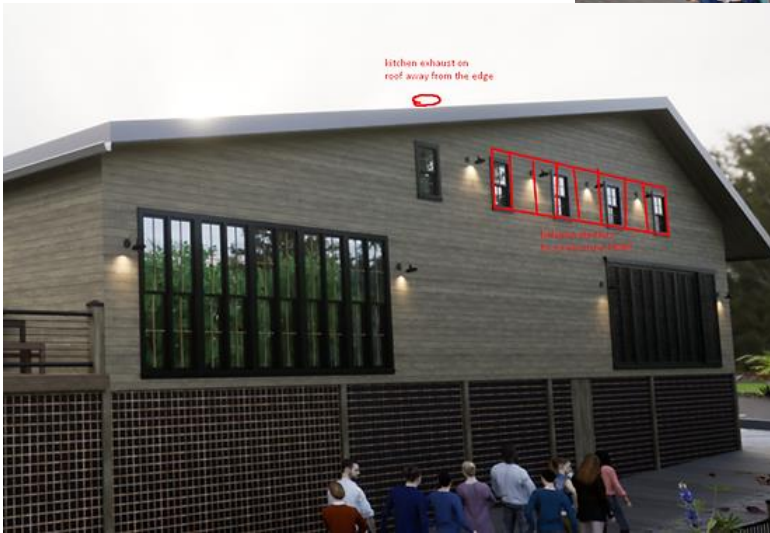


**March 8, 2023 CAB Meeting:**

At the March 8<sup>th</sup> meeting, the applicant presented the above renderings with the changes that were requested at the January 25<sup>th</sup> meeting. The board approved the revisions, contingent on the inclusion of adding four (4) or more faux (false) shutters on the street side of the building to mimic the look of the Riverwalk side of the building, that the applicant uses the materials that were previously approved, and that the board

975 Second Ave (consideration of revisions required upon final approval)

review the locations of the exhaust fans (vent hoods) on the roof. Architectural elevations have also been provided in your packet. Pages from the approved minutes from the March 8<sup>th</sup> meeting are also included in your packet. See renderings below:



**Left:** Kitchen exhaust on roof away from the edge

### **STAFF RECOMMENDATION:**

Staff recommends that a material list be provided to staff due to the number of submittals that have been considered for this project to ensure that all approved materials are included on the architectural plans when submitted for permit review. Additionally, staff recommends the following:

- The applicant obtains all applicable permits;
- Any deviations from what is approved requires CAB review and approval



signage and asked the applicant to consult with the owner to explore more options of a more historic style color and sign package. The board also requested the applicant consult the owner on the use of brick instead of stone.

There was no action taken on the item as it was a conceptual review only.

#### IV. CERTIFICATES OF APPROPRIATENESS

- A. **Previously Tabled: Cowboys (975 Second Ave):** The applicant, Riverfront Ventures, requests review and approval of revisions to a previously approved building, proposed to be constructed at 975 Second Ave (PIN: 36701010054).

Hucks stated that the board gave final review and approval to a proposed restaurant, then proposed to be called “Under the Bridge Seafood, Steaks and Spirits”, at 975 Second Ave, originally in March 2019. At that time, the main tenant space was proposed to be a restaurant and the smaller tenant space was proposed to be a real estate office. This board approved revisions to the previously approved structure in February 2021, which at the time, included changes in the entry for the second tenant, additional entrances, increase in vertical siding to screen coolers and mechanical equipment, changes to the access stairs and ramp, and adjustments to the canopy on the left side. This Board approved the proposed revisions on the condition that the river side of the building be clear glass and that the entrance/take out doors come back to CAB for approval since the final (door) design had not yet been decided on.

Following that approval, in June 2021, the applicant submitted a survey revising the proposed lot layout to include enough property to expand the footprint of the proposed structure.

During TRC review, also in June 2021, it was also discovered that a portion of the rear of the proposed structure encroached into the Riverwalk easement area, which could not be permitted, and staff requested that the building footprint match the survey/footprint that had been submitted for review. Additionally, the footprint submitted for TRC review included a 2,351 sq. ft. building expansion *not* previously reviewed by CAB.

To staffs’ knowledge, and according to Horry County Land Records, **the plat staff approved (for recording) in 2021 that included enough of a building footprint to include the proposed expansion has never been recorded.** Pending CAB approval of the latest building design, the applicant will need to seek Council approval of the revised footprint and the appropriate platting action (and associated deed work) completed to match such approvals.

Renderings of what was approved in 2019 and 2021 are included in your packet for review, as well as the most recent submittal (September 2022), which includes revised architectural elevations.

The applicant now proposes for both tenant spaces to be restaurants, with one of them being “Cowboys”. A copy of the floor plan has also been provided in the packet.

*Please note:* the revisions included in the proposed elevations is all that is being submitted for CAB. The latest CAB approval was in 2021, and vested rights are good for 2 years following such approval date. Staff has requested attendance by the applicant(s) to further explain the revisions that are being requested.

At the January 25, 2023 meeting the board asked the applicant to;

- Extend the porch along the length of the back of the building
- Provide a symmetrical pitch or go back to the original design of the lower warehouse roof layout
- Verify the roof pitch
- Provide shed style porch roofs rather than gable end
- Provide a zoomed in rendering of each entry way for board clarification
- Show window details for each side of the building
- Provide a size offset between the shed roofs to distinguish between the 2 tenants and entrances
- Refer to the approved 2021 renderings

The newly proposed elevations are below and also included in your packet.

Hucks stated that the applicant, Tripp Nealy, of Rivertown Ventures, and Steve Strickland, of Earthworks, were present to answer any questions.

The applicant, staff and the board discussed in length.

Watts made a motion to grant final approval contingent on the inclusion of 4 or more false shutters on the street side of the building to mimic the look on the riverside, the applicant uses all previously approved materials, and board approval on the proposed location of exhaust fans on the roof. McLain seconded the motion. The motion carried unanimously.

- B. 802 Main St (Spartina Land Surveying):** The applicant, Tyson Sign Company, requests approval of proposed sign face replacement on existing monument sign and installation of new wall sign for the business, Spartina Land Surveying, located at, 802 Main St, (338-13-02-0020).

Hucks stated the applicant, Tyson Sign Company, requests approval of proposed sign face replacement on existing monument sign, and installation of new wall sign for the business located at 802 Main St. for Spartina Land Surveying.

Monument sign area measures **3' (h) x 7.5' (w)**, totaling **22.5 sq. ft.**, to be installed on an existing monument sign. The existing monument sign measures **7.5' (h)**, the top of the monument sign measures **2.5' (h) x 7.5' (w)**, and the bottom of the monument sign measures **3.67' (w) x 1.08' (h)**. Total sign area for the top of the sign is **18.75 sq. ft.** and the bottom is **3.96 sq. ft.**, totaling **22.71 sq. ft.**

In the Professional Zoning district monument signs are not to exceed **8'** in **height** for any number of tenants, **24 sq. ft.** is total area for **(1) one tenant** and **40 sq. ft.** in total area for **(3) three or more tenants.**



**EARTHWORKS**

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(FAX) 843.651.7903  
[www.earthworksgroup.com](http://www.earthworksgroup.com)

FRONT ELEVATION



**EARTHWORKS**

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FRONT ELEVATION-1

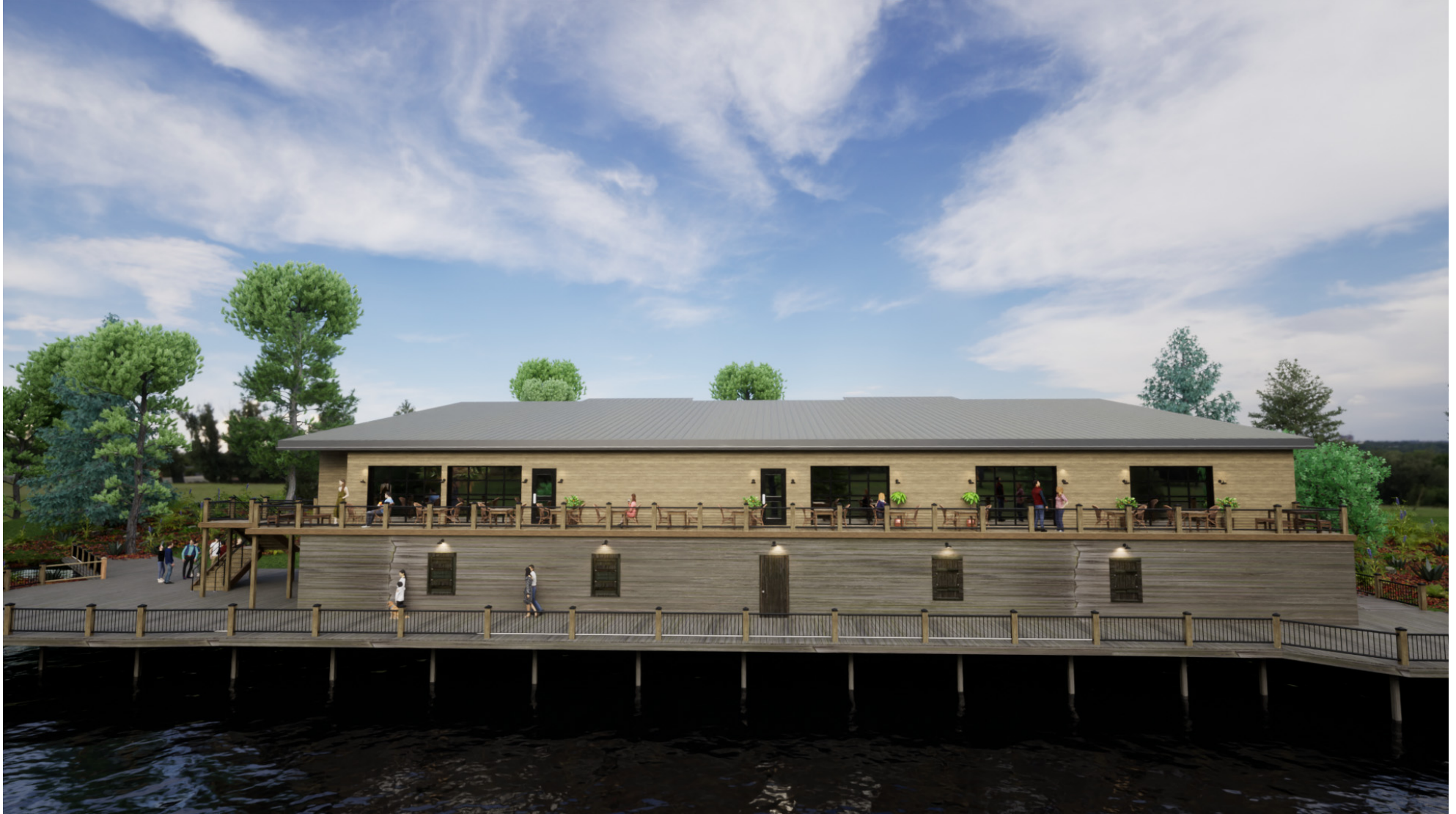


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FRONT ELEVATION-2

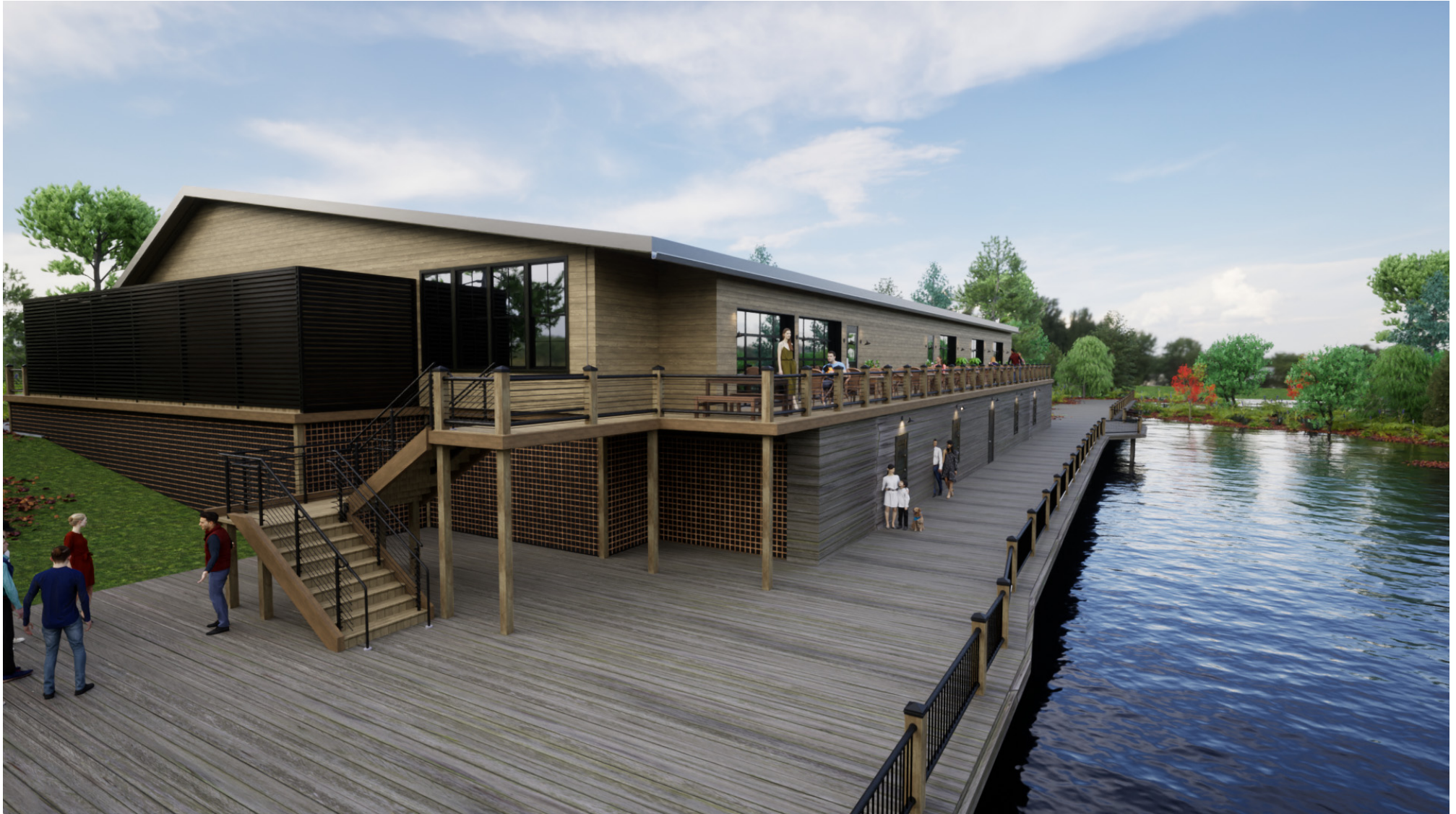


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**BACK ELEVATION**



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BACK ELEVATION-1



**EARTHWORKS**

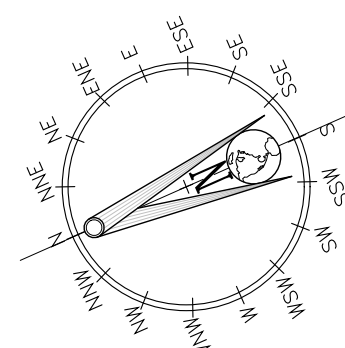
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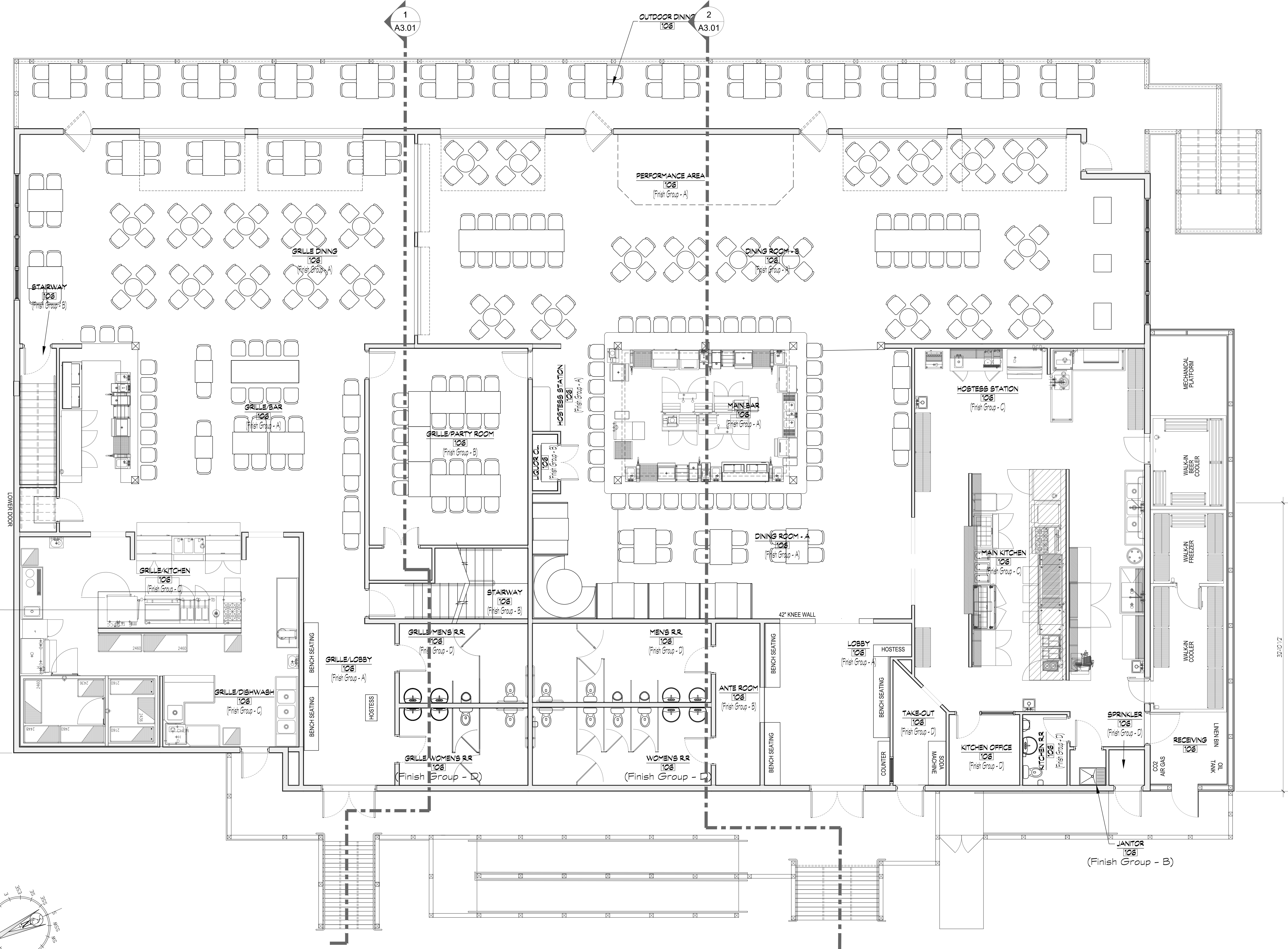
BACK ELEVATION-2







**1 FIRST FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



REVISION SCHEDULE

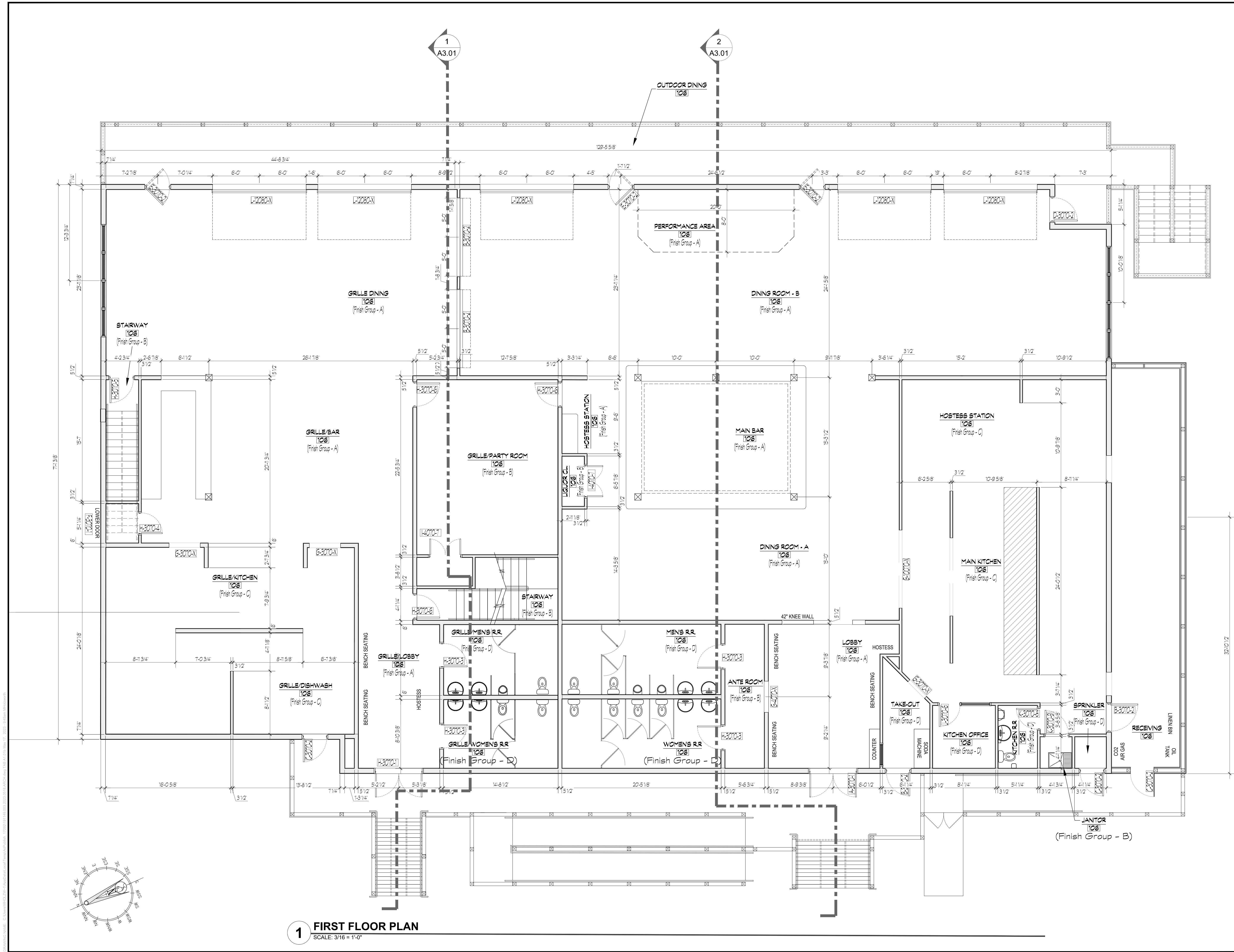
NO.	DATE	DESCRIPTION	BY
1	01/28/2021	ISSUED FOR PERMIT	DHC
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

**CONWAY RIVERWALK RESTAURANT**  
**FIRST FLOOR PLAN - LAYOUT**  
PREPARED FOR: TRIPP NEALY  
108 N. MAIN ST.  
CONWAY, SC 29626  
PROJECT LOCATION: CONWAY RIVERWALK  
CONWAY, SC 29626

PROJECT #:	181148.005	AS NOTED	CDM
DATE:	5/17/2023	DESIGNED BY:	MDH
SCALE:		DRAWN BY:	CDM
CHECKED BY:			

**A1.01a**

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**1 FIRST FLOOR PLAN**  
SCALE: 3/16 = 1'-0"

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION	BY
1	01/28/2021	ISSUED FOR PERMIT	DHC
2			
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**CONWAY RIVERWALK RESTAURANT**  
**FIRST FLOOR PLAN - LAYOUT**

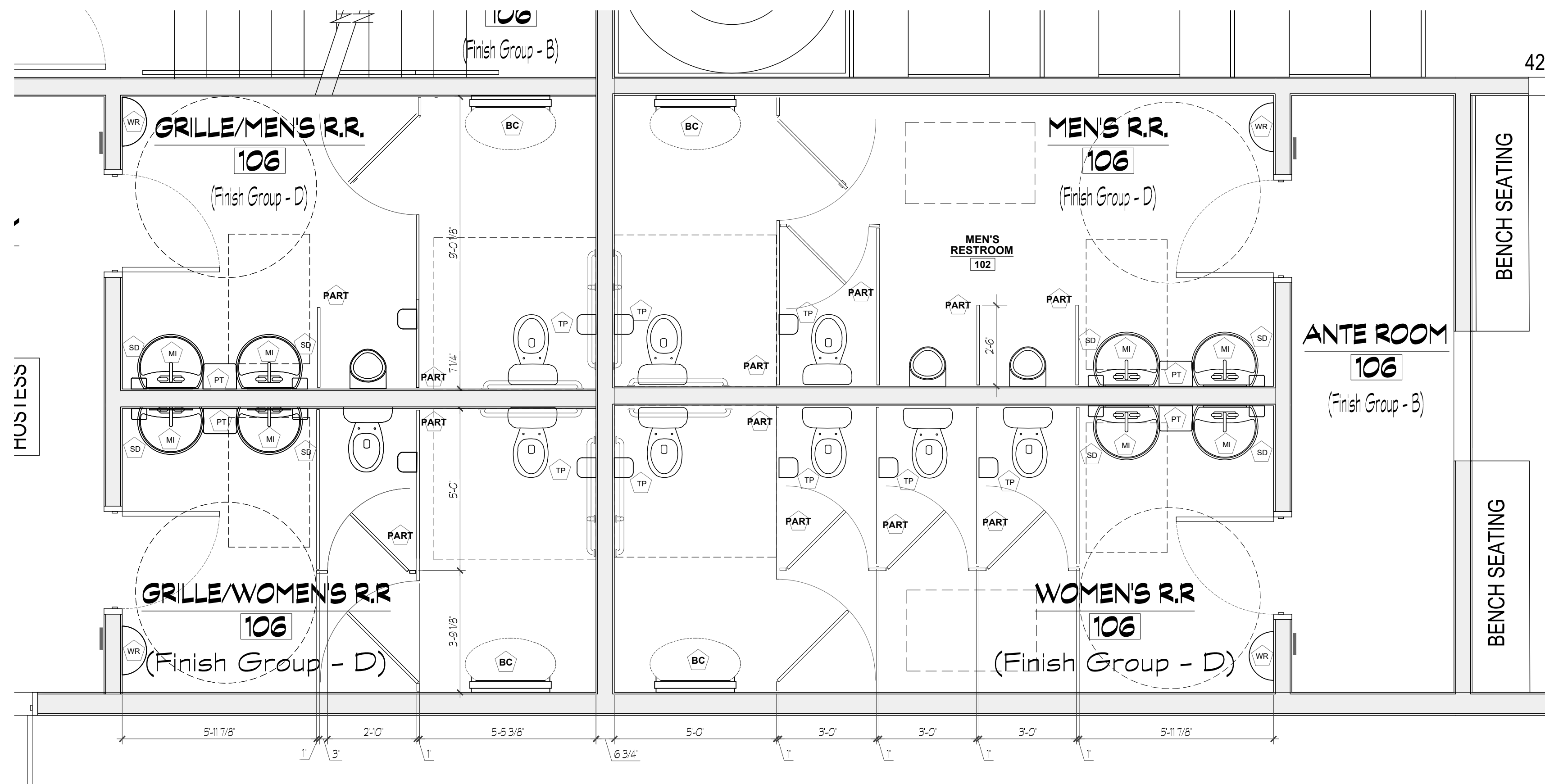
PREPARED FOR: TRIPP NEALY  
105 N. MAIN ST.  
CONWAY, SC 29626

PROJECT LOCATION: CONWAY RIVERWALK  
CONWAY, SC 29626

PROJECT #:	181148.005
DATE:	5/17/2023
SCALE:	AS NOTED
DESIGNED BY:	CDM
DRAWN BY:	MDH
CHECKED BY:	CDM

**A1.01b**

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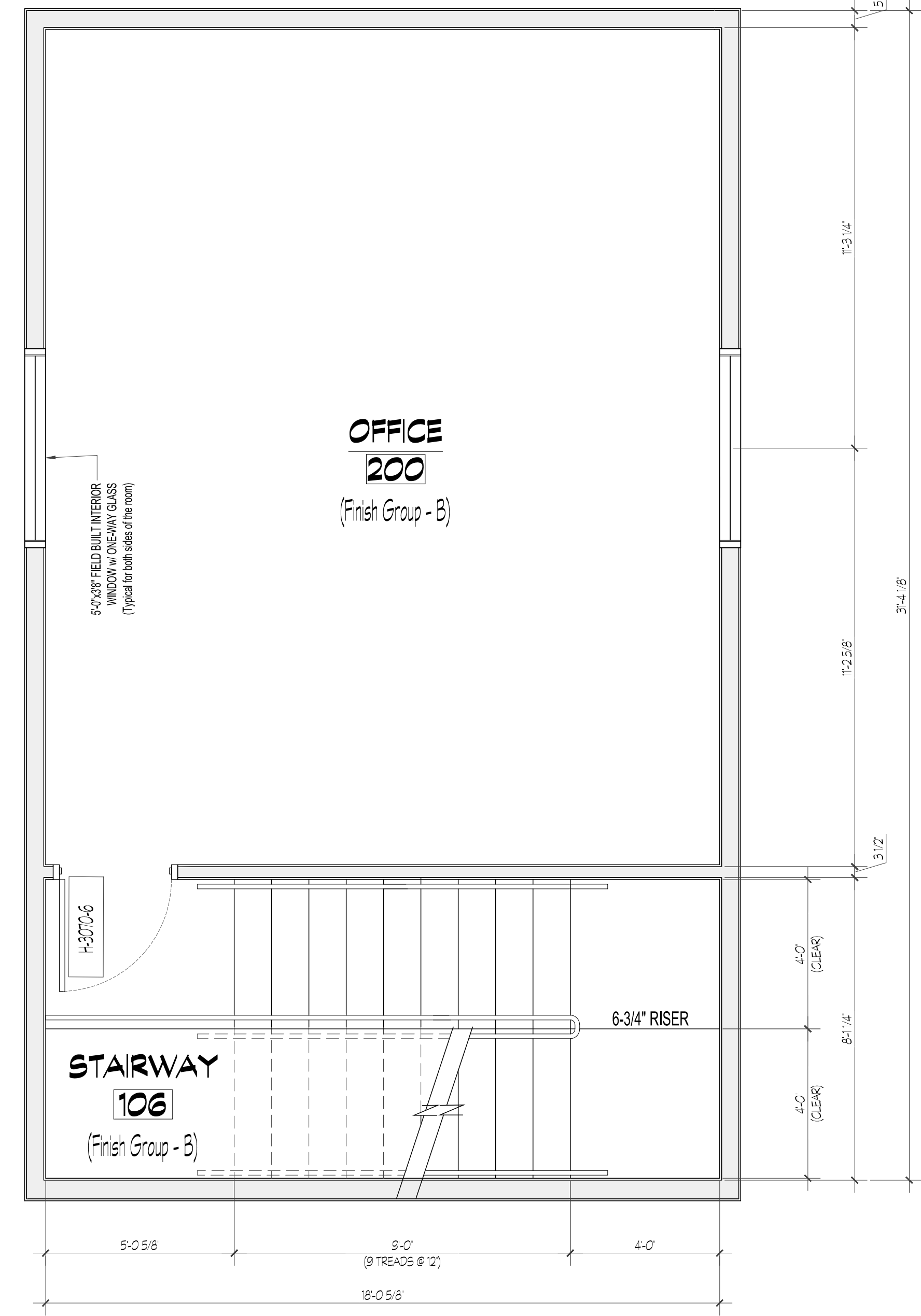
**4 ENLARGED RESTROOM FLOOR PLAN**  
SCALE: 3/8" = 1'-0"

#	DESCRIPTION	NOTES
SD	SOAP DISPENSER	TORK #571508
MI	MIRROR	SIGNATURE HARDWARE "LANDER" #938826
GB	GRAB BAR SET	GAMCO #50-150ST w/ #150-18"ST
PT	PAPER TOWEL DISPENSER	TORK #552028
TP	TOILET PAPER DISPENSER	TORK #555628
WR	WASTE RECEPTICLE	GAMCO #WR-6
MP	MOP & BROOM HANGER	CARLISLE "ROLL-N-GRIP" #40731
BC	BABY CHANGING STATION	KOALA KARE #KB208
PART	RESTROOM PARTITION	GAMCO #???????

FINISH #	FLOORING			WALL'S		CEILING'S			DOORS		TRIM		NOTES
	FLOOR MATERIAL	BASE MATERIAL	BASE HEIGHT	BASE MATERIAL	FINISH MATERIAL	CEILING MATERIAL	CEILING FINISH	CEILING HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH	
A	WD	NONE	NONE	GB	PR	GB1	PR	VARES	WD	S/V	STL	PR	
B	WD	NONE	NONE	GB	PR	GB2	PR	9'-0"	WD	S/V	STL	PR	
C	TL	TL	6"	GB	TL	GB1	P/L/G	9'-0"	WD	S/V	STL	PR	
D	TL	TL	6"	GB	P/S	GB2	P/L/S	9'-0"	WD	S/V	STL	PR	RESTROOM PLUS WALL SHALL RECEIVE EQ HST. CERAMIC TILE WAINSCOT

FINISH ABBREVIATIONS		FINISH ABBREVIATIONS	
ABBREVIATION	MATERIAL	ABBREVIATION	MATERIAL
BC	EXPOSED CONCRETE	P/F	PAINT (Flat)
PC	POLISHED CONCRETE	P/S	PAINT (Semi)
CR	CARPET (ROLL OR TILE)	P/G	PAINT (Gloss)
TL	TILE (PORC, CERAMIC OR QUARRY)	P/E	PAINT (Eggshell)
VGT	VINYL COMPOSITION TILE	PR	PRIMER
SV	SHEET VINYL	S/V	STAIN VARNISH (S&V)
VP	VINYL PLANK	ST	STAIN
WD	WOOD	SE	SEALER
ETR	EXISTING TO REMAIN	PL	POLYURETHANE
RS	RUBBER (Smooth)	#	# OF COATS
RC	RUBBER (Cove)	(E)	ENSTING
MT	METAL	EXP	EXPOSED
CMU	CONCRETE MASONRY UNIT	FF	FACTORY FINISHED
BR	BRICK	ES	EXPOSED STRUCTURE
GB	GYPSUM BOARD	AC-1	24x48 ACOUSTICAL TILE
PL	PLASTER	AC-2	24x24 ACOUSTICAL TILE
P/L	PAINT (LATEN)	GB-1	GYP. BD. (On Framing)
P/A	PAINT (ALKYD)	GB-2	GYP. BD. (Suspended)
E/P	EPONY FLOORING	STL	STEEL
E/B	EPONY BASE	AN	ANODIZED
AL	ALUMINUM	UF	UNFINISHED

- GENERAL FINISH NOTES**
- UNLESS NOTED OTHERWISE, FINISH INDICATED ON THE SCHEDULE SHALL APPLY TO ENTIRE ROOM.
  - UNLESS NOTED OTHERWISE OR OMITTED ON THE FINISH SCHEDULE, ALL INTERIOR MATERIALS SHALL BE PAINTED.
  - ALL NEW METAL TRIM SHALL BE ENAMEL PAINTED FINISH, INCLUDING, BUT NOT LIMITED TO, METAL DOORS AND METAL FRAMES.
  - ALL NEW WOOD DOORS AND TRIM SHALL BE STAIN AND VARNISH FINISH UNLESS NOTED OTHERWISE.
  - SEE REFLECTED CEILING PLAN FOR ALL GYPSUM BOARD HEADERS AND SOFFITS. PAINT ALL SOFFITS AND HEADERS THE SAME AS ADJOINING WALLS.
  - VERIFY COMPATIBILITY OF CURING COMPOUND AND PENETRATING SEALERS ON CONCRETE FLOORS WITH ADHESIVES FOR FLOOR FINISHES.



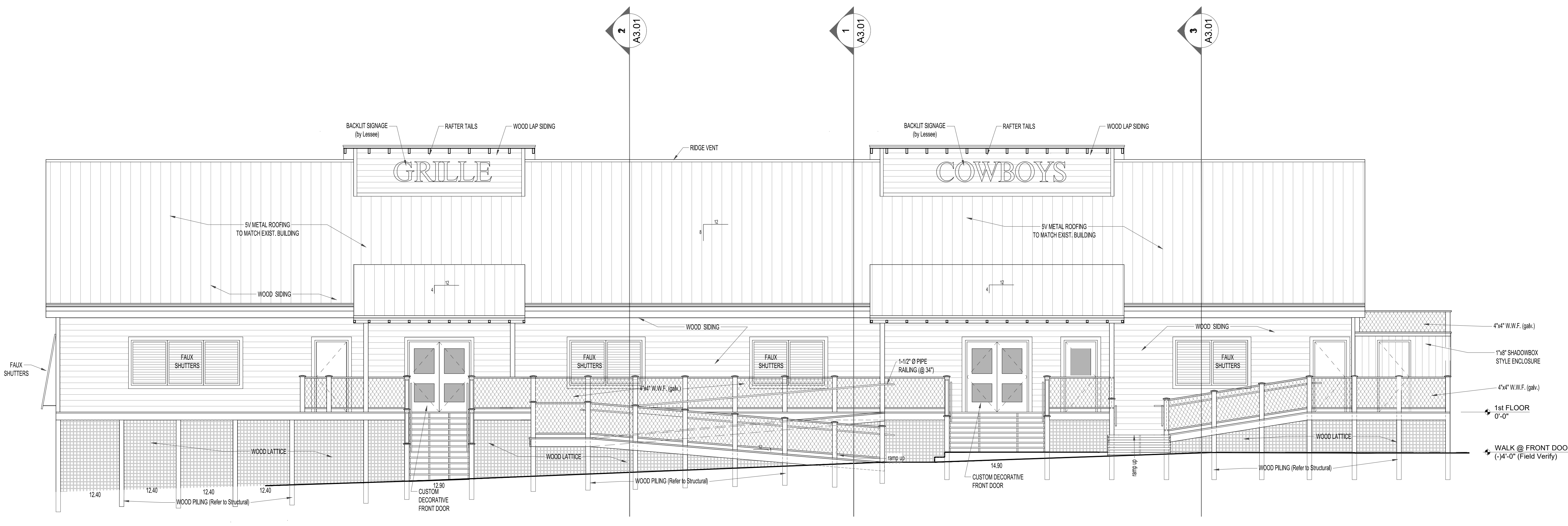
**3 ENLARGED 2nd FLOOR PLAN**  
SCALE: 3/8" = 1'-0"

**REVISION SCHEDULE**

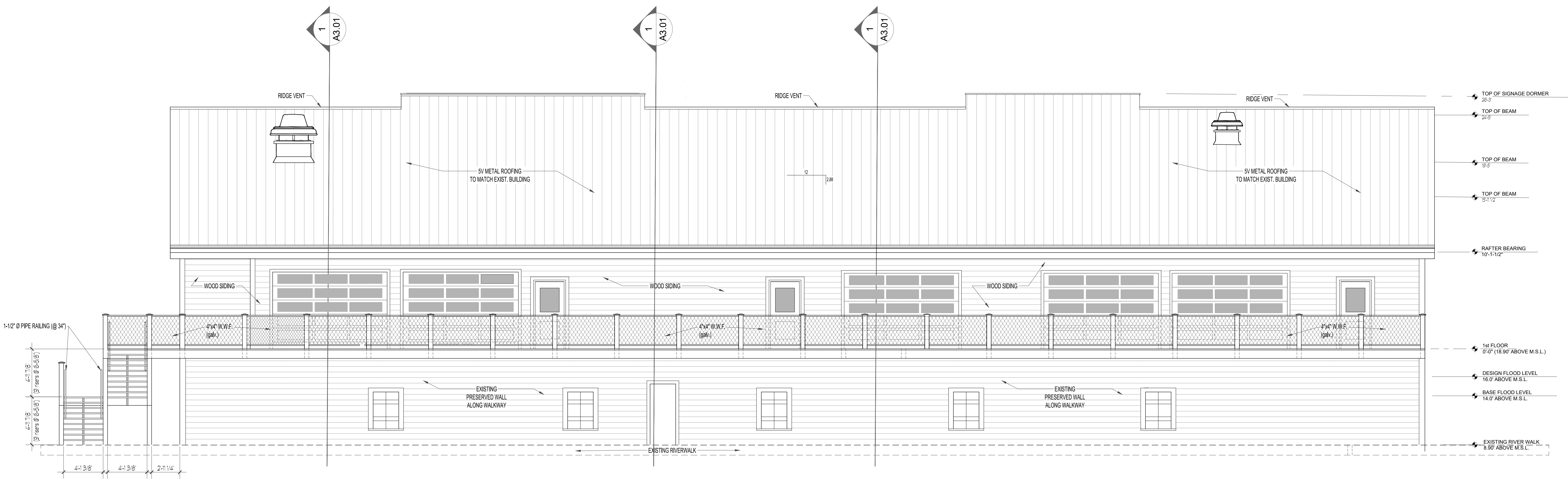
NO.	DATE	DESCRIPTION	BY
1	01/28/2021	ISSUED FOR PERMIT	DHC
2			
3			
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12			

**CONWAY RIVERWALK RESTAURANT**  
2nd FLR. PLAN, R.R. PLAN & FINISHES

PROJECT #:	18148 005
DATE:	5/17/2023
SCALE:	AS NOTED
DESIGNED BY:	CDM
DRAWN BY:	MDH
CHECKED BY:	CDM
PREPARED FOR:	TRIPP REALTY 1835 N. MAIN ST. CONWAY, SC 29826
PROJECT LOCATION:	CONWAY RIVERWALK CONWAY, SC 29526



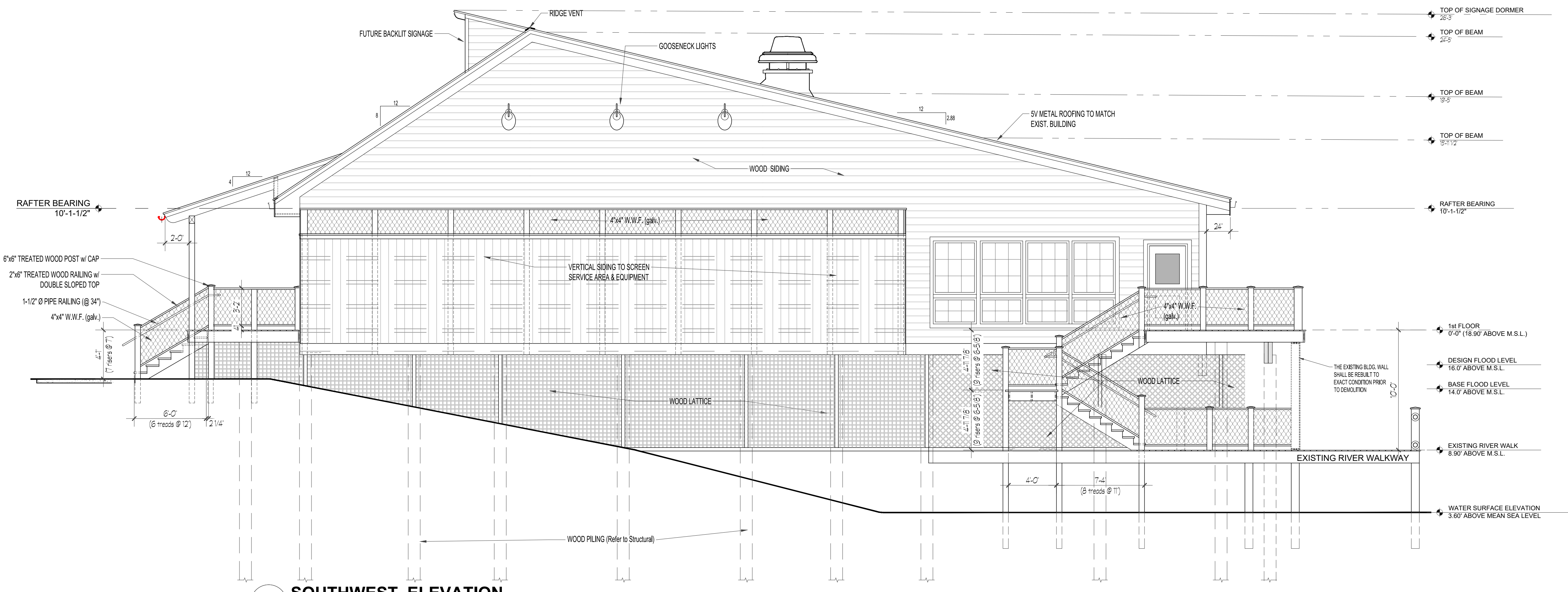
**2 FRONT ELEVATION**  
SCALE: 3/16 = 1'-0"



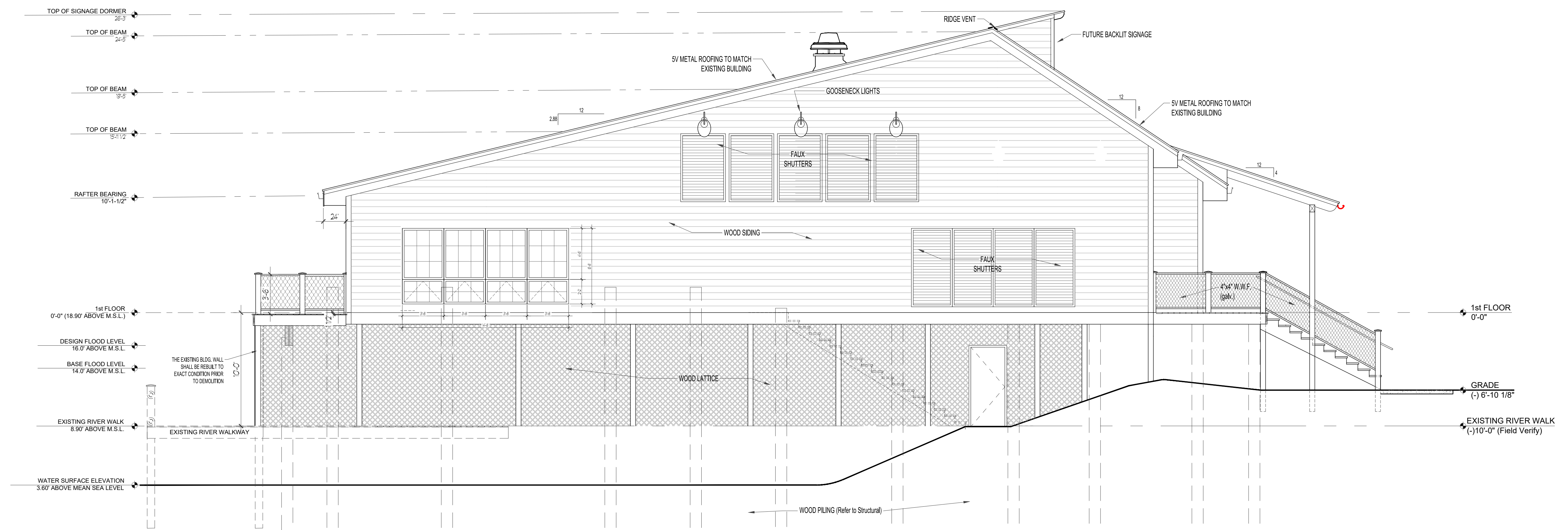
**1 REAR (RIVER) ELEVATION**  
SCALE: 3/16 = 1'-0"

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	01/28/2021	ISSUED FOR PERMIT
2	02/11/2021	METAL ROOFING REVISED
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12		

CONWAY RIVERWALK RESTAURANT		
EXTERIOR ELEVATIONS		
PROJECT #:	181148 005	AS NOTED
DATE:	5/17/2023	CDM
DESIGNED BY:	TRIPP NEALE	MDH
DRAWN BY:	1805 N. MAIN ST. CONWAY, SC 29626	CDM
CHECKED BY:	CONWAY RIVERWALK	



**2** SOUTHWEST ELEVATION  
SCALE: 3/16" = 1'-0"

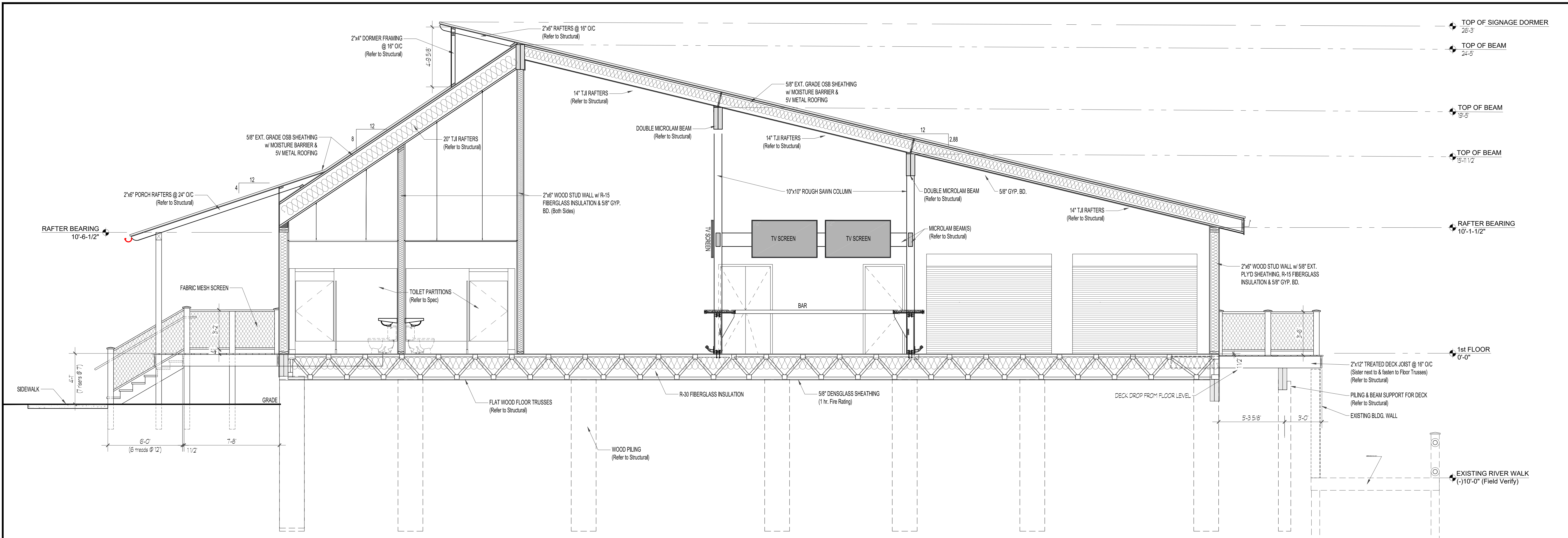


**1** NORTHEAST ELEVATION  
SCALE: 3/16" = 1'-0"

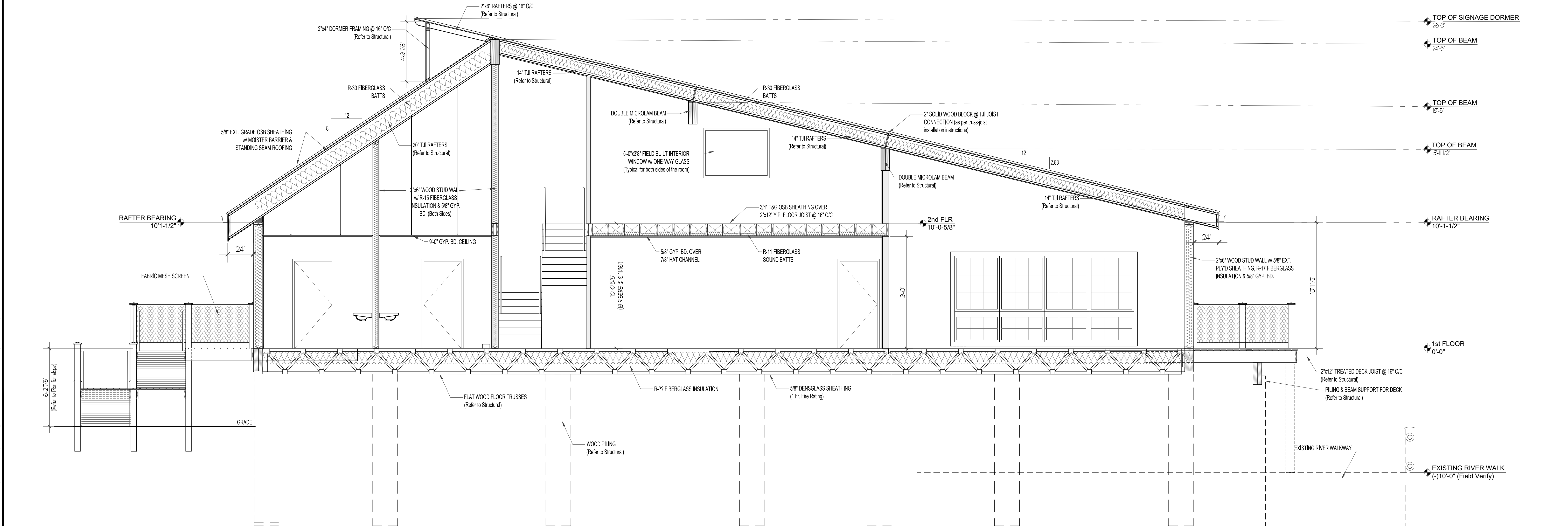
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	01/28/2021	ISSUED FOR PERMIT
2	02/11/2021	METAL ROOFING REVISED
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<b>CONWAY RIVERWALK RESTAURANT</b>	
<b>EXTERIOR ELEVATIONS</b>	
PROJECT #:	181148.005
DATE:	5/17/2023
SCALE:	AS NOTED
DESIGNED BY:	CDM
DRAWN BY:	MDH
CHECKED BY:	CDM
PREPARED FOR:	TROPP NEALY 1805 N. MAIN ST. CONWAY, SC 29826
PROJECT LOCATION:	CONWAY RIVERWALK CONWAY, SC 29826

PROJECT #:	181148.005
DATE:	5/17/2023
SCALE:	AS NOTED
DESIGNED BY:	CDM
DRAWN BY:	MDH
CHECKED BY:	CDM
PREPARED FOR:	TROPP NEALY 1805 N. MAIN ST. CONWAY, SC 29826
PROJECT LOCATION:	CONWAY RIVERWALK CONWAY, SC 29826



**2 CROSS-SECTION**  
SCALE: 1/4" = 1'-0"



**1 CROSS-SECTION**  
SCALE: 1/4" = 1'-0"

NO.	DATE	DESCRIPTION
1	01/28/2021	ISSUED FOR PERMIT
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NO.	DATE	DESCRIPTION
1	01/28/2021	ISSUED FOR PERMIT
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PROJECT #:	181148.005
DATE:	5/17/2023
SCALE:	AS NOTED
DESIGNED BY:	CDM
DRAWN BY:	MDH
CHECKED BY:	CDM

PROJECT NAME:	CONWAY RIVERWALK RESTAURANT
PREPARED FOR:	TRIPP NEALEY 1805 N. MAIN ST. CONWAY, SC 29626
PROJECT LOCATION:	CONWAY RIVERWALK CONWAY, SC 29626

**DATE: MAY 24, 2023**

**ITEM: IV.A.**

**ISSUE:**

Discussion of Ordinance #ZA2023-06-05 (C), to amend *Article 11 – Signage*, of the City of Conway Unified Development Ordinance (UDO), regarding LED and EMC signs with digital (animated) display(s).

**BACKGROUND:**

City Council gave first reading of a proposed iconic sign ordinance in September of last year. Due to the complexities of the proposed ordinance, staff has not put the item back on an agenda for final reading. In addition to it being in conflict with the design guidelines for the Historic Design Review Districts (HDRD's), it is too complicated and may be unenforceable or too difficult of an ordinance for someone seeking to utilize to be able to comply with. The intent of that ordinance was to allow a historic business on Main Street, located in the commercial HDRD, to update their signage to a digital (animated) display because it is becoming increasingly impossible to find the materials needed to update the message center and staff is unable to change the message center any longer.

Instead of an “iconic sign” ordinance, staff proposes to amend *Article 11* of the UDO, relative to EMC's / LED's with digital (animated) displays, which would narrowly tailor the ordinance so that it applies only to the *type* of business that is seeking the change. In this amendment, theaters on property zoned for such use and those located within a Historic Design Review District (HDRD), regardless of the zoning district, would be permitted to have an LED/EMC sign with digital (animated) display. If located within an HDRD, the Community Appearance Board (CAB) would also have to approve.

While not included in this amendment, Horry County Schools has requested, in the past, that educational facilities within the City limits be permitted to have LED/EMC signage with digital/animated displays; however, due to the zoning of the properties where the schools are located (Residential, R-1), animated / digital signage is not permitted, and the schools are located in close proximity to residences. Additionally, the City's Sports & Fitness Center has inquired about having digital / animated signs; however, the zoning of the Sports & Fitness Center nor its location permits such signage. The amendment, as currently written, does not include language to allow these types of signs for schools in the City limits or the City's Sports & Fitness Center.

**CITY COUNCIL WORKSHOP:**

City council discussed the proposed amendments to *Article 11* regarding LED / EMC signage with digital display at their May 1, 2023 meeting during a workshop. Council asked that the amendment include specific language regarding theaters to clarify what type of theater the ordinance would apply to. Staff has included language to clarify.



### **PLANNING COMMISSION RECOMMENDATION:**

Planning Commission held the required public hearing at their May 4, 2023 meeting. There was no public input. Planning Commission recommended approval of the request, as was currently presented in the ordinance; however, the recommendation did not include any considerations for the school district or the Sports and Fitness Center.

### **CITY COUNCIL MEETING ON MAY 15<sup>th</sup> (1<sup>st</sup> Reading):**

City Council deferred First Reading of the ordinance to give staff an opportunity to amend the language proposed in the amendment to include provisions for Horry County Schools, as well as the Sports and Fitness Center on Mill Pond Rd. Staff is currently in the process of drafting that language; however, it will not affect the areas located within a Historic Design Review District (HDRD), as the only property that would qualify for an EMC/LED with digital/animated display would be the Main Street Theater.

### **EFFECT ON CAB GUIDELINES:**

An amendment to the CAB Guidelines may be needed in order to permit such sign in the Commercial Historic Design Review District (HDRD), in which the Main Street Theater is located; particularly *Section C, Chapter 5: 5.3. Sign and Architectural Lighting.*

#### ***CAB Guidelines:***

5.3.3 of this chapter states the following with regard to LED lighting methods:

- *Allow artful use of new lighting technology. Light Emitting Diode (LED) light sources are effective in creative and innovative sign packages and architectural lighting. The CAB will require additional review of timed fades, brightness, and amount or type of housing the LED is set into.*

5.3.15 of this chapter states the following with regard to “inappropriate” sign lighting methods:

- *Animated or electric signs. Primarily programmable Light Emitting Diode (LED) read-out or digital screen video. Electronic signs may be product endorsement signs and should follow all placement suggestions.*

#### ***UDO Regulations:***

*Art. 14, Section 14.1.3 – Variances for Undue Hardship*, states the following with regard to granting variances on the CAB guidelines:

1. Where, by reason of unusual circumstances, the strict application of any provision of this article would result in the exceptional practical difficulty or undue hardship upon any owner of a specific property, the CAB shall have the power to vary strict adherence to said provisions, or to interpret the meaning of said provisions, so as to relieve such difficulty or hardship; provided that such variances or interpretations do not compromise the architectural or historical integrity of the

property. In granting variances, the CAB may impose reasonable and additional conditions as deemed necessary. Any undue hardship shall not be a situation of the persons own making.

*Article 14, Section 14.1.3 (J) of the UDO contains additional information regarding variances for undue hardship by the CAB.*

*This is a discussion item only.*

**Article 11 – Signage, Section 11.4.9 of the UDO: changes below (in red):**

**11.4.9 Electronic Message Centers (EMC's) / Light-Emitting Diodes (L.E.D.) ~~Digital Signs~~ with Digital / Animated Display**

Electronic message centers (EMCs) and L.E.D. digital signs come in different shapes and sizes and typically have informational messages. Messages shall not be intended to nor shall they distract oncoming traffic. Should the Planning Department, determine that the signage is distracting, the signage must be altered to remove the offending message or shall be in violation of this section. This section does not apply to Time and Temperature Signs (Section 11.4.12) or Gasoline Pricing Signs (Section 11.4.13). [ZA2019-03-18 (C)]

**A. Location and Number**

One (1) EMC / LED is permitted per parcel.

**B. Size**

The size of the EMC / LED shall be no greater than the sign area allotted by the ~~zoning district~~ **sign type, as provided for in Section 11.4.**

**C. Illumination**

1. The EMC / LED shall not exceed 5,000 nits from sunrise to sunset, and it shall not exceed 500 nits from sunset to sunrise.
2. All EMCs / LEDs shall be equipped with a sensor or other device that automatically determines the ambient illumination and programmed to automatically dim according to the requirements in this section.
3. Before issuing a Zoning Permit, a sign company shall certify the illumination specifications for the proposed EMC / LED.

**D. Zoning**

~~EMCs / LEDs shall be permitted only in the IN and IC Zoning Districts, and on properties zoned HC that are located on US Highway 501, including all areas of Church Street and Highway 501 Bypass, however parcels located on Highway 501 Business shall not be eligible for EMC signage.~~

**Electronic Message Centers (EMC's) or L.E.D. signs with digital or animated displays are permitted as follows:**

1. **IN, IC and HC Zoning Districts. EMC's / L.E.D. signs with digital/animated displays are permitted in the IN and IC zoning districts, and on properties zoned HC that are located on US HWY 501 Bypass, to include "Church Street".**
2. **Theaters (located outside of a Historic Design Review District [HDRD]). Theaters, including buildings or structures (i.e. auditorium) that is designed for, permitted, and is intended for such use, and which contains audience seating, one or more screens and/or stage, and a lobby, for the purpose of showing motion pictures, performing live music, live plays, or other performance art(s), that is**

located outside of an HDRD, shall be permitted one (1) EMC / L.E.D. sign with digital/animated display.

a. Theaters must be located on parcels that are zoned for such use.

b. Theaters shall not include any adult entertainment uses as outlined in Section 5.1.1.

3. Historic Design Review Districts (HDRD's). Theaters located on properties within a HDRD shall be reviewed by the Community Appearance Board (CAB) for consideration of the installation of an EMC / L.E.D. digital/animated display.

**E. Additional Conditions**

1. EMCs / LED signs shall only be incorporated into monument signs only. EMCs / LED signs are not permitted on buildings as wall signs, **except on buildings containing a properly licensed theater, as defined herein.**
2. The EMC / LED shall have a mechanism to turn it off if a malfunction occurs.
3. The displaying of videos shall be prohibited.
4. No audio speakers or any form of pyrotechnics shall be permitted.
5. EMCs / LEDs shall not change or alternate displays (words, symbols, figures or images) more frequently than once every fifteen (15) seconds, except that digital changeable copy signs may change or alternate displays as frequently as once every eight (8) seconds if:
  - a. The sign displays public service announcements on a permanent basis once every sixty (60) second period; and,
  - b. The sign operator displays as part of the normal advertising rotation, public emergency messages, hereinafter defined until such time as such message is no longer reasonably necessary. "Public emergency messages" shall mean: Amber Alert emergency information and information about terrorist attacks, natural disasters, public infrastructure failures and public safety emergencies. Public emergency messages shall be displayed in accordance with protocols developed by the City in conjunction with the issuing agencies and the qualified sign owners. For the purposes of this section, a public service announcement shall be any announcement for which no charge is made and which promotes programs, activities, or services of federal, state or local governments or the programs, activities or services of non-profit organizations and other announcements regarded as serving community interests, excluding time signals, routine weather announcements and promotional announcements.
6. The images and messages displayed shall be complete in themselves, without continuation in content to the next message or image, or to any other sign.
7. The display shall not be configured to resemble a warning, danger signal, official signage used to control traffic, or to cause a viewer to mistake the sign for a warning or danger signal.

[ZA2012-11-05 (A); ZA2016-08-01 (E); ZA2019-03-18 (C)]